



Built Heritage Statement in Advance of  
the Proposed Development of Land at  
Water Lane, Smarden, Kent.

February 2019

# Built Heritage Statement in Advance of the Proposed Development of Land at Water Lane, Smarden, Kent.

National Grid Reference TQ 87726 42456



Report for Crabtree and Crabtree (Smarden) Ltd

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## **Built Heritage Statement in Advance of the proposed development of Land at Water Lane, Smarden, Kent.**

### **Summary**

*SWAT Archaeology has been commissioned by Crabtree and Crabtree (Smarden) Ltd to prepare a Built Heritage statement relating to the proposed development area (PDA) of Land at Water Lane, Smarden, Kent.*

*There is a requirement under the National Planning Policy Framework (NPPF) for the client to explain the significance of any particular designated heritage assets that have been identified in the vicinity of the study site and demonstrate any potential impacts that a proposal will have upon their significance.*

*This report has demonstrated that adjacent to the PDA lies the Grade II\* designated heritage asset of The Cloth Hall with the Grade II\* Hartnup House and the Grade II Three Oasthouses and a Granary nearby. The PDA is also adjacent to the western edge of the Smarden village Conservation Area.*

*This statement demonstrates that the significance of designated assets resides in their historical and aesthetic interest. None of the heritage assets have any intervisibility with the PDA as a result of vegetation or residential development and outbuildings. Therefore, the PDA does not affect their significance or setting. The proposed development would be located opposite existing modern housing on Water Lane. As per the Smarden Design Statement, the proposed development is small in scale and consideration should be given to the local vernacular in order to blend into the street scene should ensure that there is a neutral impact on the Conservation Area.*

*This built heritage statement has found that the majority of the designated heritage assets will remain unaffected by the proposed development in that the proposed development will produce no harm on the settings or significance of these assets. The proposed development for small scale new residential housing will offer public benefits and will outweigh any 'less than substantial' impact to the designated assets and the conservation area and any potential harm done.*

*To be noted is that the 2013 aerial photograph shows a number of cropmarks within the PDA. Many of the cropmarks appears to relate to field boundaries. However, there is a rectangular shape not seen on the historical maps.*

## 1 INTRODUCTION

### 1.1 Project Background

- 1.1.1 Swale & Thames Survey Company (SWAT) was commissioned by Crabtree and Crabtree (Smarden) Ltd (the 'Client), to carry out a Built Heritage Statement relating to the proposed development area (PDA) of Land at Water Lane, Smarden, Kent centred on National Grid Reference (NGR) TQ 87726 42456 (Fig 4).
- 1.1.2 This document will be used in support of planning applications associated with the proposed development.

### 1.2 The Site

- 1.2.1 The PDA is currently a field situated on the south side of Water Lane in Smarden. Smarden is a village that is situated in the Low Weald on the River Beult, 3 miles east, south east from Headcorn. Ashford is 8 miles to the east. The field is currently just over 13 acres in size and is arable and the PDA is approximately 2 acres of that field facing Water Lane. To the west of the PDA are the houses of Soldiers Retreat and Copper Lodge with the large modern farm buildings of Copper Lodge situated west of the house. On the northern side of Water Lane opposite the PDA the modern houses of Ashdenden and The Acorns small housing estates and in between the slightly older houses of The Oaks that actually face onto Water Lane. The eastern side of the PDA is the Grade II\* listed 14<sup>th</sup> Century Cloth Hall and beyond that the Grade II\* listed Hartnup House. Opposite the Cloth Hall is the Grade II listed Three Oasthouses and Granary. At the far eastern end of Water Lane lies the parish church. The PDA lies on level ground at an average height of 23m AOD within the river valley area of the Beult, which runs through the village on an east-west axis (Fig. 5).
- 1.2.2 Smarden has around 155 designated assets within the village, with the majority located along The Street, north east of the parish church and reflect Smarden's Medieval growth. Most which have no impact or intervisibility with the PDA. However, there are a few designated assets, which are situated close to the PDA, being The Cloth Hall, Hartnup House and Three Oasthouse and Granary. These assets are covered in greater detail within this report. In addition, there is the

Smarden Conservation area to the east and north east of the PDA, in which many of the heritage assets in the wider assessment area are located (Fig. 13).

### **1.3 Project Constraints**

- 1.3.1 No constraints were associated with this project.

### **1.4 Scope of Document**

- 1.4.1 This assessment was requested by the Client in order to determine, as far as is possible, the nature, extent and significance of the development affecting the settings of designated heritage assets. The assessment forms part of the NPPF requirement and is intended to inform and assist with decisions regarding heritage assets and is to be used in the support of planning applications associated with the proposed development.

## **2 PLANNING BACKGROUND**

### **2.1 Introduction**

- 2.1.1 National legislation and guidance relating to the protection of, and proposed development on or near, important archaeological sites or historical buildings within planning regulations is defined under the provisions of the Town and Country Planning Act 1990. In addition, local authorities are responsible for the protection of the historic environment within the planning system.
- 2.1.2 The National Planning Policy Framework (NPPF), was updated in July 2018 and is the principal document which sets out the Government's planning policies for England and how these are expected to be applied. It provides a framework in which Local Planning Authorities can produce their own distinctive Local Plans to reflect the needs own their communities.

### **2.2 Heritage Assets**

- 2.2.1 Designated heritage assets are defined in NPPF Annex 2 as:

*'World Heritage Sites, Scheduled Monuments, Listed Buildings, Protected Wreck Sites, Registered Park and Gardens, Registered Battlefields and Conservation Areas designated under the relevant legislation.'*

2.2.2 Designation is a formal acknowledgement of a building, monument or site's significance, intended to make sure that the character of the asset in question is protected through the planning system and to enable it to be passed on to future generations.

2.2.3 Statutory protection is provided to certain classes of designated heritage assets under the following legislation:

- Planning (Listed Buildings and Conservation Areas) Act 1990;
- Ancient Monuments and Archaeological Areas Act 1979; and
- Protection of Wrecks Act 1973

### **2.3 National Planning Policy Framework (NPPF)**

2.3.1 The Historic Environment, as defined in the National Planning Policy Framework (NPPF 2018): Annex 2, comprises:

*'all aspects of the environment resulting from the interaction between people and places through time, including all surviving physical remains of past human activity, whether visible, buried or submerged, and landscaped and planted or managed flora.'*

2.3.2 NPPF Annex 2 defines a Heritage Asset as:

*'a building monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest. Heritage assets include designated heritage assets and assets identified by the local planning authority (including local listing).'*

2.3.3 NPPF Section 16: Conserving and enhancing the historic environment sets out the principal national guidance on the importance, management and safeguarding of heritage assets within the planning process. The aim of NPPF Section 16 is to ensure that Local Planning Authorities, developers and owners of heritage assets adopt a consistent approach to their conservation and to reduce complexity in planning policy relating to proposals that affect them.

2.3.4 Paragraph 185 of the NPPF states that:



*'Local planning authorities should set out in their Local Plan a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. In doing so, they should recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance. The planning authorities should take into account:*

- a) The desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation;*
- b) The wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;*
- c) The desirability of new development making a positive contribution to local character and distinctiveness; and*
- d) Opportunities to draw on the contribution made by the historic environment to the character of a place.'*

2.3.5 Paragraph 189 of the NPPF states that:

*'In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum, the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.'*

2.3.6 Paragraph 190 of the NPPF states that:

*'Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account to the available evidence*

*and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.'*

2.3.7 The NPPF, Section 16, therefore provides the guidance to which local authorities need to refer when setting out a strategy for the conservation and enjoyment of the historic environment in their Local Plans. It is noted within this, that heritage assets should be conserved in a manner appropriate to their significance.

2.3.8 The NPPF further provides definitions of terms which relate to the historic environment in order to clarify the policy guidance given. For the purposes of this report, the following are important to note:

- **Significance.** The value of a heritage asset to this and future generations because of its heritage interest. This interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting. For World Heritage Sites, the cultural value described within each site's Statement of Outstanding Universal Value forms part of its significance.
- **Setting.** The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

2.3.9 The NPPF advises local authorities to take into account the following points in paragraph 192 when drawing up strategies for the conservation and enjoyment of the historic environment;

a) The desirability of sustaining and enhancing the significance of heritage assets and preserving them in a viable use consistent with their conservation;

b) The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and wider social, cultural, economic and environmental benefits that the conservation of the historic environment can bring;

c) The desirability of new development in making a positive contribution to local character and distinctiveness.

2.3.10 Paragraphs 193 and 198 consider the impact of a proposed development upon the significance of a heritage asset.

2.3.11 Paragraph 193 emphasises that when a new development is proposed, great weight should be given to the asset's conservation (and that the more important the asset, the greater this weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

2.3.12 Paragraph 194 notes that any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

a) Grade II listed buildings, or grade II registered parks or gardens, should be exceptional;

b) Assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II\* listed buildings, grade I and II\* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.

2.3.13 Paragraph 195 states that where a proposed development will lead to substantial harm (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

a) The nature of the heritage asset prevents all reasonable uses of the site; and

b) No viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and

c) Conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and

d) The harm or loss is outweighed by the benefit of bringing the site back into use.

2.3.14 Conversely, paragraph 196 notes that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

2.3.15 The NPPF comments in paragraph 201, that not all elements of a Conservation Area or World Heritage Site will necessarily contribute to its significance. Loss of a building (or other element) which makes a positive contribution to the significance of the Conservation Area or World Heritage Site should be treated either as substantial harm under paragraph 195 or less than substantial harm under paragraph 196, as appropriate, taking into account the relative significance of the element affected and its contribution to the significance of the Conservation Area or World Heritage Site as a whole.

2.3.16 Paragraph 198 states that LPAs should not permit the loss of the whole or part of a heritage asset without taking all reasonable steps to ensure the new development will proceed after the loss has occurred.

2.3.17 Paragraph 200 encourages LPAs to look for new development opportunities within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.

2.3.18 Any LPA based on paragraph 202, should assess whether the benefits of a proposal for enabling development, which would otherwise conflict with planning policies but which would secure the future conservation of a heritage asset, outweigh the disbenefits of departing from those policies.

## **2.4 Planning Policy Guidance**

Planning Policy Guidance that help to preserve the built and archaeological heritage are:

*Conservation Principles, Policy and Guidance (Historic England, 2008)*

- 2.4.1 Historic England sets out in this document a logical approach to making decisions and offering guidance about all aspects of England's historic environment. The Conservation Principles, Policies and Guidance are primarily intended to help us to ensure consistency of approach in carrying out our role as the Government's statutory advisor on the historic environment in England. Specifically, they make a contribution to addressing the challenges of modernising heritage protection by proposing an integrated approach to making decisions, based on a common process.
- 2.4.2 The document explains its relationship to other policy documents in existence at that time, including Planning Policy Statement 1: Delivering Sustainable Development (2005), which includes the explicit objective of 'protecting and enhancing the natural and historic environment' In this document, Heritage England provide detailed guidance on sustaining the historic environment within the framework of established government policy. In particular, the document distils from Planning Policy Guidance note (PPG) 15 Planning and the Historic Environment (1994) and PPG16 Archaeology and Planning (1990) those general principles which are applicable to the historic environment as a whole.
- 2.4.3 The policy document provides details about a range of Heritage Values, which enable the significance of assets to be established systematically, with the four main 'heritage values' being:
- Evidential value. This derives from the potential of a place to yield evidence about past human activity. Physical remains of past human activity are the primary source of evidence about the substance and evolution of places, and of the people and cultures that made them especially in the absence of written records, the material record, particularly archaeological deposits, provides the only source of evidence about the distant past.
  - Historical Value. This derives from the ways in which past people, events and aspects of life can be connected through a place to the present. It tends to be illustrative or associative. Illustration depends on visibility in a way that evidential value (for example, of buried remains) does not.

Places with illustrative value will normally also have evidential value, but it may be of a different order of importance. Association with a notable family, person, event, or movement gives historical value a particular resonance.

- **Aesthetic value.** This derives from the ways in which people draw sensory and intellectual stimulation from a place. Aesthetic values can be the result of the conscious design of a place, including artistic endeavour. Equally, they can be the seemingly fortuitous outcome of the way in which a place has evolved and been used over time.
- **Communal value.** This derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory. Communal values are closely bound up with historical (particularly associative) and aesthetic values but tend to have additional and specific aspects. These can be commemorative and symbolic values reflect the meanings of a place for those who draw part of their identity from it or have emotional links to it. Social value is associated with places that people perceive as a source of identity, distinctiveness, social interaction and coherence. Spiritual value attached to places can emanate from the beliefs and teachings of an organised religion, or reflect past or present-day perceptions of the spirit of place.

#### *Historic Environment Good Practice in Planning Notes*

2.4.4 In March 2015, Heritage England produced three Good Practice Advice in Planning (GPA) notes. The notes provided information on good practice to assist local authorities, planning and other consultants, owners, applicants and other interested parties in implementing historic environment policy in the National Planning Policy Framework (NPPF) and the related guidance given in the National Planning Practice Guide (PPG). GPA1 covered 'The Historic Environment in Local Plans'. GPA2 provided advice on 'Managing Significance in Decision-Taking in the Historic Environment' and GPA3 covered 'The Setting of Heritage Assets'. As at March 2017, GPA4 entitled 'Enabling Development and Heritage Assets' was still in draft.

*GPA2: Managing Significance in Decision-Taking in the Historic Environment.*

2.4.5 The guidance focuses on understanding the significance of any affected heritage asset and, if relevant, the contribution of its setting to its significance. The significance of a heritage asset is the sum of its archaeological, architectural, historic, and artistic interest. The document sets out a number of stages to follow:

- Understand the significance of the affected assets
- Understand the impact of the proposal on that significance
- Avoid, minimise and mitigate impact in a way that meets the objectives of the NPPF
- Look for opportunities to better reveal or enhance significance
- Justify any harmful impacts in terms of the sustainable development objective of conserving significance and the need for change
- Offset negative impacts on aspects of significance by enhancing others through recording, disseminating and archiving archaeological and historical interest of the important elements of the heritage assets affected.

2.4.6 Since heritage assets may be affected by direct physical change or by change in their setting. It is important to be able properly assess the nature, extent and importance of the significance of a heritage asset and the contribution of its setting early in the process to assist with any planning decision-making in line with legal requirements.

*GPA3: The Setting of Heritage Assets.*

2.4.7 This document emphasises that the information required in support of applications for planning permission and listed building consents should be no more than is necessary to reach an informed decision, and that activities to conserve or invest need to be proportionate to the significance of the heritage assets affected and the impact on the significance of those heritage assets.

2.4.8 The NPPF makes it clear that the setting of a heritage asset is the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as

the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

2.4.9 The contribution of setting to the significance of a heritage asset is often expressed by reference to views, a purely visual impression of an asset or place which can be static or dynamic, including a variety of views of, across, or including that asset, and views of the surroundings from or through the asset, and may intersect with, and incorporate the settings of numerous heritage assets.

2.4.10 It covers areas such as cumulative change, where the significance of a heritage asset has been compromised in the past by unsympathetic development affecting its setting, to accord with NPPF policies, consideration still needs to be given to whether additional change will further detract from, or can enhance, the significance of the asset. Change over time and understanding any history of change will help to determine how further development within the asset's setting is likely to affect the contribution made by setting to the significance of the heritage asset.

2.4.11 The implications of development affecting the setting of heritage assets to be considered on a case-by-case basis and since conservation decisions are based on the nature, extent and level of a heritage asset's significance, Historic England recommends the following broad approach to assessment, undertaken as a series of steps:

- Step 1: Identify which heritage assets and their settings are affected.
- Step 2: Assess whether, how and to what degree these settings contribute to the significance of the heritage asset(s).
- Step 3: Assess the effects of the proposed development, whether beneficial or harmful, on that significance.
- Step 4: Explore the way to maximise enhancement and avoid or minimise harm.
- Step 5: Make and document the decision and monitor outcomes.



- 2.4.12 The guidance reiterates the NPPF in stating that where developments affecting the setting results in ‘substantial’ harm to significance, this harm can only be justified if the developments delivers substantial public benefit and that there is no other alternative (i.e. redesign or relocation).

Historic England has also published three core Advice Notes, which provide detailed and practical advice on how national policy and guidance is implemented. These documents include; ‘Historic England Advice Note 1: Understanding Place: Conservation Area Designation, Appraisal and Management’ (25th February 2016), ‘Historic England Advice Note 2: Making Changes to Heritage Assets’ (25th February 2016) and ‘Historic England Advice Note 3: The Historic Environment and Site Allocations in Local Plans’ (30th October 2015).

## **2.5 Local Policies**

- 2.5.1 Ashford Borough Council, has a Heritage Strategy dated October 2017. The Ashford Borough Council Local Plan (2000), relating to the heritage assets of the Borough, many policies have now been superseded by other development plan documents or changes in national planning policy. However, three saved policies continue to apply until the adoption of the Local Plan 2030. EN16 Development in Conservation Areas sets out criteria that will be required to be met if development or redevelopment is proposed in a conservation area. EN23 Sites of Archaeological Importance protects important archaeological sites from development unless applications have adequately demonstrated that the site will be satisfactorily preserved in situ or by record. Thirdly, EN28 Historic Parks and gardens protects such elements of the heritage of the Borough from development which would harm their setting or character. There are three policies in the Draft Local Plan that address the protection and enhancement of the heritage assets of the borough. Draft Policies ENV13 Conservation and Enhancement of Heritage Assets, ENV14 Conservation Areas and ENV15 Archaeology. In addition, Smarden Parish Council has produced a Design Statement.

### *POLICY EN16: Development in Conservation Areas.*

- 2.5.2 Development or redevelopment within Conservation Areas will be permitted provided such proposals preserve or enhance the character or appearance of the area. Proposals must fulfil each of the following criteria: (a) the scale and detailed

design of new work has respect for the historic, architectural and landscape context of the established character of the area; (b) the materials proposed to be used are appropriate to the locality and in sympathy with existing buildings; (c) the following are retained – buildings and streets of townscape character, trees, open spaces, walls, fences or any other features which contribute positively to the character and appearance of the area; (d) the development does not generate levels of traffic, parking, or other environmental problems which would damage the character or appearance of the area; and (e) the use proposed is appropriate.

*POLICY EN23: Sites of Archaeological Importance.*

- 2.5.3 In exceptional circumstances, permission may be given for development affecting important archaeological sites of regional or local importance, if the applicant has demonstrated that the site will be satisfactorily preserved either in situ or by record. Any archaeological recording should be by an approved archaeological body and take place in advance of development in accordance with a specification and programme of work to be submitted to and approved by the Borough Council.

*POLICY EN28: Historic Parks and Gardens.*

- 2.5.4 Proposals which would harm the character or setting of a historic park or garden will not be permitted.
- 2.5.5 The following policies are those in the draft 2030 Local Plan. The final draft was submitted to the Secretary of State in December 2017 for approval.

*POLICY ENV13: Conservation and Enhancement of Heritage Assets (Draft 2030 Local Plan).*

- 2.5.6 Proposals which protect, conserve and enhance the heritage assets of the Borough, sustaining and enhancing their significance and the contribution they make to local character and distinctiveness, will be supported. Proposals that make sensitive use of heritage assets through regeneration, particularly where these bring redundant or under-used buildings and areas into appropriate and viable use consistent with their conservation, will be encouraged. Development will not be permitted where it will cause loss or substantial harm to the significance of heritage assets or their settings unless it can be demonstrated that substantial public benefits will be delivered that outweigh the harm or loss. All applications which will affect a heritage asset or its setting should be supported

by a description of the asset's historic, architectural or archaeological significance with an appropriate level of detail relating to the asset and the likely impact of the proposals on its significance.

*POLICY ENV14: Conservation Areas (Draft 2030 Local Plan)*

- 2.5.7 Development or redevelopment within Conservation Areas will be permitted provided such proposals preserve or enhance the character and appearance of the Area. Proposals should fulfil each of the following: (a) the scale and detailed design of all new development and alterations should respect the historical and architectural character, proportion and massing, including roofscapes, of the area, the relationship between buildings, the spaces between them and with their setting; (b) the materials proposed should be appropriate to the locality and in sympathy with the existing buildings; (c) buildings and streets of townscape character, trees, open spaces, walls, fences or any other features should be retained where they contribute positively to the character and appearance of the area; (d) the development should not generate levels of traffic, parking or other environmental problems which would damage the character or appearance of the area; and e. the use should be appropriate.
- 2.5.8 Proposals for inappropriate demolition, alteration or extension of buildings in Conservation Areas or which could prejudice important views into or out of a Conservation Area, will be resisted where such proposals would be detrimental to their character or setting.

*POLICY ENV15: Archaeology (Draft 2030 Local Plan)*

- 2.5.9 The archaeological and historic integrity of Scheduled Monuments and other important archaeological sites, together with their settings, will be protected and where possible enhanced. Development which would adversely affect such designated heritage assets will not be permitted. Planning applications, on sites where there is, or is the known potential for, an archaeological heritage asset, should include an appropriate desk-based assessment of the asset. In addition, where important or potentially significant archaeological heritage assets may exist, developers will be required to arrange for field evaluations to be carried out in advance of the determination of planning applications.

2.5.10 Where the case for development affecting a heritage asset of archaeological interest is accepted, the archaeological remains should be preserved in situ as the preferred approach. Where this is not possible or justified, appropriate provision for preservation by record may be an acceptable alternative. Any archaeological recording should be by an approved archaeological body and take place in accordance with a specification and programme of work to be submitted to and approved by the Borough Council in advance of development commencing.

*Smarden Parish Council Design Statement*

2.5.11 Formally adopted by Ashford Borough Council in 2007 as a supplementary planning guidance, the design statement has a number of guidelines relevant to the PDA.

- G1- All development proposals should take account of the landscape context of the development site. Where appropriate a Landscape Assessment should be carried out to consider the visual impact of the development and to identify any necessary mitigation and enhancement of the landscape
  
- G6- New buildings or building work should respect, conserve and enhance the historic, architectural and landscape context that give Smarden its distinctive character as described in this design statement. and as additionally observed. To understand the context for new buildings or building work the following factors should be carefully considered:
  - (i) The way in which Smarden has developed organically over the centuries, as referred to in paragraphs 7.5 - 7.13, and the harmony that is evident in the way it comes together.
  
  - (ii) The pleasantness of particular areas or groups of buildings, their 'sense of place' and integrity. How they are enclosed, how they relate to open spaces, how they fit within the landscape, the important contribution of trees, shrubs and hedgerows, and how they are linked to other parts of the village or parish.
  
  - (iii) The scale, height, form, features, detailing, massing, layout and density of existing buildings, and the periods of development in the

different parts of the village and parish, as described on Pages 10–14 of the design statement.

(iv) The common themes but also the variety in the design, styles and appearance of existing buildings, including the materials and colours that have been used, roofscapes, architectural features, detailing, etc. as described and illustrated on Pages 12-14 of the design statement.

(v) The special quality, interest, setting and appeal of individual buildings, of which there are examples illustrated throughout this document, (whether or not they are listed buildings) both in a general sense and those that provide the particular context of any proposal for new buildings or building work.

(vi) The special architectural and historic importance of the Conservation Area, and the significant contribution it makes to the character of Smarden as a whole.

(vii) Views of, from or within the proposed development site and the impact that the proposed building(s) would have on them as well as those particularly identified in this statement on the maps and referred to in paragraph 8.17 on page 14 of the design statement.

(viii) Transition from the countryside to the settlements, particularly relevant at 'gateway' locations and the rural edge of the village and other settlements where, for example, the density of any development is low and where buildings are seen more in the context of landscape features and larger spaces. Particular care should be taken to ensure that these areas are not 'urbanised'.

- G7- “A high quality of design that properly reflects consideration of the factors in guideline G6 above is expected for all new buildings.

### 3 AIMS AND OBJECTIVES

#### 3.1 Introduction

3.1.1 This Built Heritage Statement was commissioned by Crabtree and Crabtree (Smarden) Ltd to support a planning application. This assessment has been prepared in accordance with guidelines set out by the Chartered Institute for Archaeologists (see below).

#### 3.2 Heritage Asset Assessment – Chartered Institute for Archaeologists (2017)

3.2.1 This heritage asset study has been produced in line with archaeological standards, as defined by the Chartered Institute for Archaeologists (2014, revised 2017). A desktop, or desk-based assessment, is defined as being:

*'Desk-based assessment will determine, as far as is reasonably possible from existing records, the nature, extent and significance of the historic environment within a specified area. Desk-based assessment will be undertaken using appropriate methods and practices which satisfy the stated aims of the project, and which comply with the Code of conduct and other relevant regulations of CIfA. In a development context desk-based assessment will establish the impact of the proposed development on the significance of the historic environment (or will identify the need for further evaluation to do so) and will enable reasoned proposals and decisions to be made whether to mitigate, offset or accept without further intervention that impact.'*

(2017:4)

3.2.2 The purpose of the Heritage Asset report is, therefore, an assessment that provides a contextual archaeological record, in order to provide:

- *an assessment of the potential for heritage assets to survive within the area of study*
- *an assessment of the significance of the known or predicted heritage assets considering, in England, their archaeological, historic, architectural and artistic interests*

- *strategies for further evaluation whether or not intrusive, where the nature, extent or significance of the resource is not sufficiently well defined*
- *an assessment of the impact of proposed development or other land use changes on the significance of the heritage assets and their settings*
- *strategies to conserve the significance of heritage assets, and their settings*
- *design strategies to ensure new development makes a positive contribution to the character and local distinctiveness of the historic environment and local place-shaping*
- *proposals for further archaeological investigation within a programme of research, whether undertaken in response to a threat or not.*

CIFA (2017:4)

## **4 METHODOLOGY**

### **4.1 Introduction**

- 4.1.1 The methodology employed during this assessment has been based upon relevant professional guidance including the Chartered Institute for Archaeologists' *Standard and guidance for historic environment desk-based assessment* (CIFA, 2017).

### **4.2 Designated Heritage Assets**

- 4.2.1 There are a number of criteria to address and they include the impact of the proposed development on the significance of the Heritage Assets.

#### *Heritage Assets*

- 4.2.2 Any Heritage Asset which includes a World Heritage Site, Scheduled Monument, Listed Building, Wreck, Registered Park or Garden, Conservation Area or Landscape can be identified as having a degree of significance meriting consideration in planning decisions. Heritage Assets are the valued components of the historic environment and will include designated Heritage Assets as well as

assets identified by the Local Planning Authority during the process of decision making or through the plan making process.

### *Setting*

- 4.2.3 The surroundings in which a Heritage Asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset or may affect the ability to appreciate that significance or may be neutral.

### *Significance*

- 4.2.4 The value of a Heritage Asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance may be informed by a number of factors which may include; assessment of the significance of the site, setting and building, where relevant, under a number of headings:

- Historic significance – the age and history of the asset, its development over time, the strength of its tie to a particular architectural period, the layout of a site, the plan form of a building, internal features of special character including chimneystacks and fireplaces,
- Cultural significance – the role a site plays in an historic setting, village, town or landscape context, the use of a building perhaps tied to a local industry or agriculture, social connections of an original architect or owner,
- Aesthetic/architectural significance – the visual qualities and characteristics of the asset (settlement site or building), long views, legibility of building form, character of elevations, roofscape, materials and fabric special features of interest,
- Archaeological significance – evolution of the asset, phases of development over different periods, important features, evidence in building fabric, potential for below ground remains.

## **4.3 Sources**

- 4.3.1 A number of publicly accessible sources were consulted prior to the preparation of this document.



#### *Archaeological databases*

- 4.3.2 Although it is recognised that national databases are an appropriate resource for this particular type of assessment, the local Historic Environmental Record held at Kent County Council (KCCHER) contains sufficient data to provide an accurate insight into catalogued sites and finds within both the proposed development area and the surrounding landscape.
- 4.3.3 The National Heritage List for England (NHLE), which is the only official and up to date database of all nationally designated heritage assets and is the preferred archive for a comprehensive HER search.

#### *Cartographic and Pictorial Documents*

- 4.3.4 A full map regression exercise has been incorporated within this assessment. Research was carried out using resources offered by the Kent County Council, the internet, Ordnance Survey and the Kent Archaeological Society. A full listing of bibliographic and cartographic documents used in this study is provided in Section 9.

#### *Aerial photographs*

- 4.3.5 The study of the collection of aerial photographs held by Google Earth was undertaken (Plates 1-6).

#### *Secondary and Statutory Resources*

- 4.3.6 Secondary and statutory sources, such as regional and periodic archaeological studies, archaeological reports associated with development control, landscape studies, dissertations and research frameworks are considered appropriate to this type of study and have been included within this assessment.

#### *Walkover Survey*

- 4.3.7 The Site is visited for a walkover survey. This is for the purpose of:
- Identifying any historic landscape features not shown on maps.
  - Conducting a rapid survey for archaeological features.
  - Making a note of any surface scatters of archaeological material.

- Identifying constraints or areas of disturbance that may affect archaeological investigation.

## 5 ARCHAEOLOGICAL AND HISTORICAL DEVELOPMENT

### 5.1 Introduction

- 5.1.1 Smarden in old English was '*smeoru denn*' meaning fat, or grease pasture referring to the rich pasture in the area resulting in a good supply of butter or milk. Den is an Anglo-Saxon name for woodland clearing. Variations of spelling include Smereaenne in 1100 AD, Smeredenn in 1229 AD, before settling on Smarden by 1610.
- 5.1.2 In the prehistoric period the region was covered by dense forest and being an area of heavy clay tended to be avoided. Hasted records Smarden as 'unpleasant and watry, the soil being deep miry clay'. The area began to be settled in the Anglo-Saxon period, and the area around Smarden has a high concentration of villages that include the name 'den'. Smarden and nearby Headcorn are not recorded in the Domesday Book suggesting it was an inconsequential settlement at this time. The village grew around the parish church, which was built around 1325-1350 and the manor of Smarden is thought to have belonged to the Archbishops of Canterbury until John Kempe passed it to his newly founded college of Wye, a training college for priests around 1447. It was taken by Henry VIII at the time of the dissolution. It was subsequently given to Walter Bucler, before passing to the Newenden and by 1689 the Sayer family.
- 5.1.3 The Beult is a tributary of the River Medway that originates in great Chart and flows westwards towards Heradcorn, joining the main river near Yalding. Due to flooding than can occur from the River Beult, the land around the village is crossed by drainage ditches, streams and ponds. The landscape is dominated by small fields with hedgerows that are an indication of the impact of Kent gravelkind laws.
- 5.1.4 It was in the 14<sup>th</sup> century, when Flemish weavers settled in the area brought over by Edward III and the area became focussed on the wool trade. The weavers focused on manufacturing broadcloth and the village grew large enough to be

granted a market under charter around 1333 AD. It became a prosperous village as attested by the standing buildings within the village from this period.

- 5.1.5 The Street in Smarden was part of the turnpike road that ran from Charing and onwards to Faversham, north east of the village and south west towards Biddenden, and Cranbrook. Water Lane is a road heading north west out of the village towards Headcorn.
- 5.1.6 The manufacture of weaving by the mid-18th century had declined due to the shortage of raw materials such as wood due to competition from the iron industry. The area became predominantly agricultural with scattered farmsteads.
- 5.1.7 Smarden remained a small village with the coming of the railways as there were stations at Headcorn and Charing but the line passed by three quarters of a mile north of the village and led to further decline in the area.
- 5.1.8 In 1801 the population was 831, peaking to 1206 in 1851, after which declining to 937 in 1931. During the 20<sup>th</sup> century the village has grown with scattered houses developments. The population in 2011 stood at 1301.

## **5.2 Historical Map Progression**

*Andrews, Dury and Herbert map of 1769*

- 5.2.1 Andrews, Dury and Herbert published their atlas some thirty years before the Ordnance Survey, immediately becoming the best large-scale maps of the county. This shows a sparsely populated rural landscape. The linear development of Smarden can be seen to the north east of the church with the suggestion that the original nucleus of the village was set on slightly higher ground. On the western side of the village which appears as an outlier is the complex at The Cloth Hall. The river Beult is seen running south of the village with a number of smaller water courses running into the river from the north. The PDA at this point is a field (Fig. 6).

*Hasted, 1798*

- 5.2.2 The area is still sparsely populated and the locations of buildings not dissimilar to the map above with the PDA between The Cloth Hall to the east and a water course to the west. (Fig. 7).

*Ordnance Surveyors Drawings 1797*

- 5.2.3 This map is not of the best quality but it shows the individual buildings and field boundaries. It essentially shows an agricultural landscape of arable and pasture. The area of the PDA sits across two fields. There appears to be The Cloth Hall and Hartnup House along what is Water Lane (Fig. 8).

*Tithe Map from 1841*

- 5.2.4 The tithe map shows greater detail. The PDA is in a large area designated 793. This is part of Church Gate Farm and 793 relates to the homestead. The owner is John Phillips and the occupier William Hinds. The farm consists or a mixture of pasture, arable land, small woodlands and hops totalling 46 acres (Fig. 9).
- 5.2.5 At the farm there are a number of buildings. These can be identified on the tithe map as the timber framed 15<sup>th</sup> century house seen as an 'L' shape just set back off the road. To the west of the house is a threshing barn. South of the barn is e Cloth Hall Cottage. Aside the road is another barn which today is an open fronted barn used for parking. There is also a large pond west of the farm buildings. Two small buildings are located in the north east corner of the field area west of the farm complex alongside the road.
- 5.2.6 To the east of the farm complex is Hartnup House which stands directly on the lane next to the church and is Grade II\* listed and is thought to date in part from the 15<sup>th</sup> century with a later wing added by Matthew Hartnup in 1671.
- 5.2.7 The PDA as mentioned previously is part of the homestead. Part of the PDA is in field 796 called Wear Bridge Field and is pasture. A trackway leads from the end of Water Lane diagonally across between 793 and 796 towards the river where a bridge crosses across towards Thorpe Farm (later called Bridge Farm) on the southern side. Just west of the PDA is a large pond, which remains there to this day.

*Historic OS map 1876*

- 5.2.8 This is the first properly scaled OS map. At the PDA the track down towards the bridge is not shown although the bridge appears to remain in place. A footpath now crosses the PDA from east to west from the village towards a number of fields before petering out. The pond to the west of the PDA is unchanged. The farm at Cloth Hall is now called Turk's Farm. The Cloth Hall farm complex appears little changed except for the addition of the stables located west of Cloth Cottage. The boundary around the farm complex is covered with trees (Fig. 10).

*Historic OS map 1898*

- 5.2.9 There is little change except the field in which the PDA sits is now an orchard. The map does not show the continuation of the footpath across the land. There does not appear to be a bridge in place south of the PDA (Fig. 11).

*Historic OS map 1908*

- 5.2.10 There is little change and no more maps were drawn of the area reflecting an area of little change (Fig.12).

### **5.3 Aerial Photographs**

*1940s*

- 5.3.1 This shows the PDA as part of an orchard. The farm complex to the east can be seen with mature vegetation in the area around that of the pond. On the opposite side of Water Lane, there are now three houses known as The Oaks set into the south eastern corner of an arable field. The area around is mainly orchard. North of the PDA are the buildings associated with the brickwork, which is active given the piles of bricks laid out (Plate 1).

*1960s*

- 5.3.2 The PDA is still part of a mature orchard. At the southern end of the orchard beside the river is a sewage treatment plant. In the field east of The Oaks there are now more houses on the northern side of Water Lane. The western boundary hedgerow of the orchard is no longer in place (Plate 2).

*1990*

- 5.3.3 There have been significant changes. An arable field has replaced the orchard that the PDA is part of. The eastern boundary of that field now has a road leading down towards the sewage plant. At the corner of the western end of Water lane there is now another new road leading southward towards the property of Copper Lodge, which has a number of large barns west of the house. There appears little change at The Cloth Hall. Except for a swimming pool in the south east corner of the site. On the northern side of Water Lane, west of The Oaks is a new small group of houses around a road called Ashenden (Plate 3).

*2013*

- 5.3.4 The field in which the PDA is part is still arable but has now joined up with what was previously a pasture field to the west. On the western side of the road to Copper Lodge is a new residential property. Immediately north next to the sewage works is a new burial ground. The field in which the PDA is part shows a number of cropmarks. The route of the old track diagonally across the PDA seen in the tithe map can be traced as can the field boundaries seen immediately to the west of the sewage plant. However immediately east of the track way are what appear to be more field boundaries not seen on previous maps. In addition, there is a rectangular shaped building on a north west to south east alignment in between what was the old track way area and the road towards Copper Lodge. This potential building cannot be seen in any previous maps. The 12 houses previously east of The Oaks have been replaced with a new group of houses around a road called The Acorns (Plate 4).

*2018*

- 5.3.5 No changes are noted in the area of the PDA. At Cloth Hall the roof of the threshing barn has been removed. In addition, there has been an extension added to the rear wing of Cloth Hall (Plate 5).

#### **5.4 Site Assessment**

- 5.4.1 A walkover survey was undertaken on the 25<sup>th</sup> February 2019. The PDA is part of a large agricultural field on level ground. The western boundary is the trackway to Copper Lodge, the northern boundary is the road of Water Lane with a low hedge

with a view of the modern houses opposite. The western boundary is low wire and stake fence bordering a track way between the complex of buildings at the Cloth Hall and the PDA that heads towards the sewage works and the new burial ground.

- 5.4.2 Cloth Hall (TQ 84 SE 8) is a Grade II\* listed building The Cloth Hall is surrounded by a complex of other farm buildings which are unlisted but within the curtilage of the Cloth Hall including a garage, threshing barn and stables. In addition, there is mature vegetations around a pond area. Due to these buildings and the vegetation, there is no direct visibility between the Cloth Hall and the PDA.
- 5.4.3 There are a number of other listed buildings at the eastern end of Water Lane. South east of the Cloth Hall is Hartnup House (TQ 84 SE 7) a Grade II \* 15<sup>th</sup> century timber framed house situated directly on the lane, as well as the Grade I listed Smarden 14th century parish church (TQ 84 SE 1) at the far end of Water Lane. Opposite the Cloth Hall on the northern side of Water Lane are Three Oasthouses and a Granary (TQ 84 SE 199) that are Grade II listed, now residential having previously related to Gilletts Farm. These have no impact or intervisibility with the PDA.

#### *Conservation Area*

- 5.4.4 A conservation area is defined as an 'area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance' Planning (Listed Buildings and Conservation Areas) Act 1990. Conservation Areas are environments which are considered worthy of protection as a result of a combination of factors such as the quality of design and setting of the buildings or their historic significance.
- 5.4.5 Cloth Hall lies on the western edge of the Smarden Conservation Area bordering the PDA. Ashford Borough Council has not prepared a Conservation Area Appraisal for Smarden but the Conservation Area was first designated in 1997. However, this report will consider the landscape use, views and street scenes and commentary provided in the Smarden Parish Design Statement.
- 5.4.6 The village essentially grew naturally over hundreds of years as a linear type of settlement with the church located where The Street, Water Lane and Cage Lane meet. The narrow, winding roads result in the village being broken down into

discrete areas with modern housing continuing this theme being built around estate roads as is the case with The Acorns and Ashenden. The properties along Water Lane are less dense than those seen along The Street and are set within large gardens.

- 5.4.7 The village due to its long growth period is home to a wide variety of successive styles or architecture and materials. The design and access statement refers to a number of important views within the village. These tend to focus towards the church and there is a key view along Water Lane towards the church and village from the north east corner of the PDA. A more distant public view of the church is considered from the corner of Water Lane by the entrance to Copper Lodge towards the village.

## **5.5 Assessment of Heritage Assets**

- 5.5.1 It has been identified that within the PDA is next to The Cloth Hall a Grade II\* designated heritage asset, which is within a Conservation area, which is worthy of further investigation. As such the following assessment seeks to identify the significance of this heritage asset and to what extent the PDA contributes to their significance.

### ***The Cloth Hall***

#### *Architectural Interest:*

- 5.5.2 It is thought that The Cloth Hall originated in the 15<sup>th</sup> or 16<sup>th</sup> century. The earliest map identified that clearly shows the cottage is on the 1797 Ordnance Surveyors Map. The building is considered to have a high architectural significance. The building is a two-storey timber framed Wealden type house with plaster infilling and part of the ground floor is in red brick with a crown post roof. There is a blocked opening at the front that originally accessed the cross passage. The original open hall likely to have been covered over in the 16<sup>th</sup> century when the internal chimney stack was added. The western end is jettied with a loft door in the centre approached by an outside ladder. Another loft door is located above with a projecting hip over it and a hoist with an iron hook. It has been altered in the 16<sup>th</sup> century at the north west corner and there is also a later southern



extension constructed in the 1930s, which was replaced a couple of years ago. There is a central chimney as well as another on the end at south east wall. The listing description refers to a number of changes noticed since the original design regarding windows and entranceways and the house was at one time two separate dwellings believed up until the early 20<sup>th</sup> century.

5.5.3 Wealden houses are typical of the area and usually had four bays with the two central ones forming the main hall with a buttery and pantry and one end and the parlour at the other with a cross passage through the central hall. Originally open to the roof with a hearth in the middle. The open hearth later replaced with a chimney usually in the 16<sup>th</sup> century in the cross-passage area. Sometimes brick replaced the wattle and daub between timbers as is the case here. Originally, these buildings were thatched but as is the case here, the roof has since been replaced by Kentish peg tiles.

5.5.4 To the north west of the house, not listed but within the curtilage of the house is a three-bay threshing barn with a centre doorway and bays either side. The barn is later than that of The Cloth Hall but has not been securely dated. In 2018, planning permission was granted for the barn to be altered and converted into a holiday let. South of the barn is a small cottage and west of that cottage are wooden stables. Both Cloth Hall and the threshing barn have been subject to separate reports under previous planning processes in recent years.

*Historical Interest:*

5.5.5 Upon evaluating the historic map appraisal and the tithe records, the house itself is the main building of interest as an early 15<sup>th</sup> century timber framed Wealden house typical of the area. The loading doors at the north west end relate to the buildings use for cloth weaving. At the time of the tithes, it already appears to have been used as a farm then called Church Gate, and field of the PDA part of the farm but since the house is no longer a working farm and is in residential ownership to land on which the PDA is part no longer has any links to The Cloth Hall. The house has been added to an extended over the past hundreds of years but still retains its historical character as a Wealdon Hall House and historical it is considered to have a high significance.

*Setting:*

- 5.5.6 Cloth Hall is located at the eastern end of Water Lane at the western edge of the Conservation Area. It is close to a number of other historical listed buildings of Hartnup to the east, the Three Oasthouses and Granary opposite as well as the parish church east of Hartnup and together these form a group on the western fringes of the village. Set back off the road, the key view of Cloth Hall is directly in front of the house from Water Lane. The view of Cloth Hall is obscured by vegetation from the further down Water Lane to the west and from the east by Hartnup, which is situated on the road. On the northern side of Water Lane, are the modern housing development of The Acorn from the 1990s, which would have had a neutral impact on its setting.
- 5.5.7 Consequently, in terms of the heritage asset's immediate visual setting, the due to the vegetation and other buildings within the Cloth Hall complex, it is not possible to directly view the heritage asset from the PDA.

*Summary of Significance:*

- 5.5.8 Given the above it is concluded that the extent of the heritage asset's original setting is limited by its natural landscape boundaries, and that the PDA makes a negligible contribution to its visual setting. The asset retains much of its 15th century structure with many later enhancements. It is considered to have aesthetic and historical interest, and it is this that forms its primary heritage significance.

***Hartnup House***

*Architectural Interest:*

- 5.5.9 Hartnup House has 15<sup>th</sup> century origins with the southern range dating to the 17<sup>th</sup> century. The north west range building is timber framed with a jettied first floor and is one bay width situated right on the edge of the road. There are two hipped dormers. The southern range is brick built and is three bays in width facing the road. There is a gable on a bressummer carved with the figures of two hippopotami with the words between of 'Matthew Hartnup' and a date of 1671. There is a doorcase with the roses of York and Lancaster and a courtyard paved with Bethersden marble. The roof is covered with Kentish peg tiles.

*Historical Interest:*

- 5.5.10 The house has historical interest as one of the oldest in the village, close to the church.

*Setting:*

- 5.5.11 The setting of the house with its location directly on the road means that it is on view and its local vernacular forms part of the character of the Conservation area. The curve of the road and the location of The Cloth Hall means that the setting of the Hartnup House is not visible from the PDA.

*Summary of Significance:*

- 5.5.12 The extent of the heritage asset's setting means that the proposed development makes a negligible contribution to its visual setting. The asset retains its late 15<sup>th</sup>/17<sup>th</sup> century structure. Nonetheless it is still considered to have aesthetic and historical interest, and it is this that forms its primary heritage significance.

***Three Oasthouse and Granary***

*Architectural Interest:*

- 5.5.13 The oasthouses are 19<sup>th</sup> century with a kiln on the south west and north west extremes with a two storey area between the two. There is on the southern side a third kiln. The kilns are circular and still have their white cowls. The roof is peg tiled and the upper storey of the stowage area is weatherboarded. The properties were converted to residential use in the mid-20<sup>th</sup> century.

*Historical Interest:*

- 5.5.14 The oasthouses represent to the local hop industry within Kent and are not covered to have any special merit.

*Setting:*

- 5.5.15 The setting of the oasthouses forms part of the character of the Conservation area with the wider group of listed houses in the vicinity. The curve of the road and the location of the other buildings within the Cloth Hall complex means that the setting of the Oasthouses and Granary are not visible from the PDA.

*Summary of Significance:*

- 5.5.12 The extent of the heritage asset's setting means that the proposed development makes a negligible contribution to its visual setting. The asset retains its late 19th century structure. It is still considered to have aesthetic and historical interest, and it is this that forms its primary heritage significance.

## **6 PROPOSALS AND ASSESSMENT OF IMPACT**

### **6.1 Proposals**

- 6.1.1 The proposed development is for residential housing. The houses are to be situated slightly away from the road, with a buffer of additional landscape vegetation on the eastern boundary of the PDA to further reduce any potential impact the PDA may have on the heritage asset (Fig. 4).

### **6.2 Assessment of Impact**

#### ***The Cloth Hall***

- 6.2.1 From our findings, the primary heritage significance of The Cloth Hall is its aesthetic and historic interest as an early 15<sup>th</sup> century Wealden Hall House and its role in the weaving industry in Smarden. Later becoming two house and at a later time, a farmhouse. There is no longer any relationship between The Cloth Hall and the land the land of the PDA. The hall's historical setting has already been affected by the later modern developments along Water Lane. The vegetation and other buildings within The Cloth Hall complex ensures that there is currently no intervisibility with the PDA and that it does not contribute to its significance.
- 6.2.2 The landscape boundaries on the PDA are to be strengthened along the eastern boundary of the PDA, which will mitigate any potential visual impacts and maintain the current lack of intervisibility.
- 6.2.3 Therefore, overall any impact caused to the significance of the heritage asset would be considered as 'less than substantial' in accordance with NPPF Paragraph 196.

### ***Hartnup House***

- 6.2.4 From our findings, the primary heritage significance of Hartnup House is its aesthetic and historic interest as a 15th century building. The location of Cloth Hall ensures that there is no intervisibility with the PDA and that it does not contribute to its significance.
- 6.2.5 Therefore, overall any impact caused to the significance of the heritage asset would be considered as 'less than substantial' in accordance with NPPF Paragraph 196.

### ***Three Oasthouses and the Granary***

- 6.2.6 From our findings, the primary heritage significance of the Three Oasthouses and Granary is in its aesthetic and historic interest as a 19th century building. The location of the outbuildings at Cloth Hall and the curve of the road ensures that there is no intervisibility with the PDA and that it does not contribute to its significance.
- 6.2.7 Therefore, overall any impact caused to the significance of the heritage asset would be considered as 'less than substantial' in accordance with NPPF Paragraph 196.

### ***Conservation Area***

- 6.2.8 The village includes a large number of listed buildings from the Medieval period onwards and there are a number of these located in a group at the eastern end of Water Lane near to the church and therefore the Conservation Area is considered to be of high significance. It is residential in character with a number of different styles. The PDA is located outside of the Conservation Area, and will be opposite other modern housing on Water Lane. Consideration will need to be given as to the vernacular used for the proposed development in order to blend into the streetscape in order that the PDA has a neutral impact. However, the view along Water Lane into the village from the western side by the entrance to Copper Lodge is considered key in the Smarden Design Statement. At present as you round the corner, none of the listed buildings within the Conservation Area can be seen and the tower of the church is obscured by trees when in leaf but can be seen in winter. Consideration will need to be given to the placement of the proposed development in relation to the distance back from the road to ensure

that it does not impact upon the view towards the church. Therefore, the proposed development will not impact the view along the lane towards the village.

## **7 CONCLUSION**

### **7.1 Introduction**

- 7.1.1 The purpose of this Built Heritage Statement was to assist the Local Authority to fully understand the impact of the proposed development as required by the NPPF on the significance of any Heritage Assets affected, including any contribution made by their setting. This Built Heritage Statement has been prepared by SWAT Archaeology for Crabtree and Crabtree (Smarden) Ltd in support of the application for proposed developments of Land at Water Lane, Smarden, Kent.
- 7.1.2 This report has demonstrated that the PDA lies close to a number of Listed Heritage Assets and adjacent to a Conservation Area. This report has focussed on these designated assets closest to the PDA, being The Cloth Hall (Grade II\*), Hartnup House (Grade II\*) and Three Oasthouses and a granary (Grade II).
- 7.1.3 This statement demonstrates that the significance of these assets resides in their historical and aesthetic interest. The assets do not have any direct relationship with the PDA and the proposed development will not impact upon the historic fabric of these buildings. Consequently, the proposed development does not affect their significance. The heritage assets have no intervisibility with the PDA either as the result of vegetation or other residential development and therefore will not impact upon their setting. Opposite the PDA is already a modern development and the PDA will therefore have a neutral impact upon the Conservation area assuming the correct design and vernacular is considered for the proposed development.
- 7.1.4 This built heritage statement has found that the majority of the designated heritage assets will remain unaffected by the proposed development and that the proposed development will produce no harm on the settings or significance of these assets.

- 7.1.5 The proposed development for new residential housing will offer public benefits and will outweigh any 'less than substantial' impact to The Cloth Hall, Hartnup House, Three Oasthouses and the Granary and the conservation area and potentially outweigh any potential harm done.

## **8 OTHER CONSIDERATIONS**

### **8.1 Archive**

- 8.1.1 Subject to any contractual requirements on confidentiality, two copies of this Heritage Asset Assessment will be submitted to the LPA and Kent County Council (Heritage) within 6 months of completion.

### **8.2 Reliability/Limitations of Sources**

- 8.2.1 The sources that were used in this assessment were, in general, of high quality. The majority of the information provided herewith has been gained from either published texts or archaeological 'grey' literature held at Kent County Council, and therefore considered as being reliable.

### **8.3 Copyright**

- 8.3.1 Swale & Thames Survey Company and the author shall retain full copyright on the commissioned report under the Copyright, Designs and Patents Act 1988. All rights are reserved, excepting that it hereby provides exclusive licence to Crabtree and Crabtree (Smarden) Ltd (and representatives) for the use of this document in all matters directly relating to the project.

Paul Wilkinson PhD MCIfA.

SWAT Archaeology

February 2019

## 9 REFERENCES

### 9.1 Bibliographic

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## 10 APPENDICES

### 10.1 Appendix 1: Statutory List Description

#### 10.1.1 The Cloth Hall, Water Lane

Heritage Environment Record Number: TQ 84 SE 8

List Entry Number: 1071366

National Grid Reference: TQ 87887 42357

Type of Record: Grade II\*

Date of Listing: 17<sup>th</sup> September 1952

Period: Medieval

**Summary:** C15 timber-framed and close-studded building with plaster infilling, part of the ground floor rebuilt in red brick, the north-west end of the first floor and part of the centre oversailing on the protruding end of the floor joists and brackets. Tiled roof. Casement windows with diamond-paned or small square leaded panes. Blocked 4-centred wooden doorway. Iron-studded door, with peep-hole to the south-east of this. Two storeys. Five windows. Brick chimney breast with offsets on the south-east wall. North-west front has dragon post and blocked double window. The first floor of the north-west front oversails on the protruding ends of the floor joists and brackets, with a loft door in the centre of it approached by an outside ladder. Above is a second loft door with a projecting hip over it, from which is suspended a hoist with a heavy iron hook. C16 L-addition at north-west corner. Crown post roof.

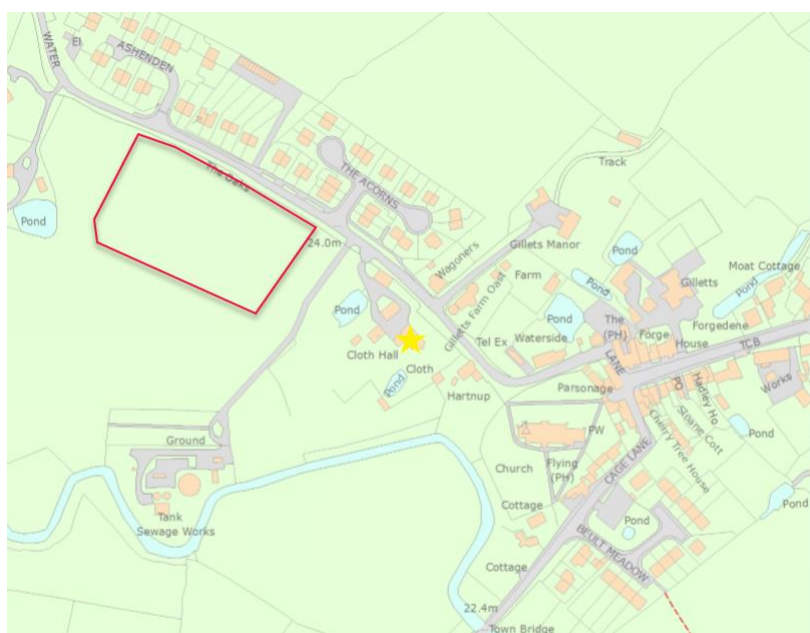


Figure 1: Location map of The Cloth Hall (yellow star)

### 10.1.2 Hartnup House, Water Lane

Heritage Environment Record Number: TQ 84 SE 7

List Entry Number: 1366291

National Grid Reference: TQ 874223 1617952

Type of Record: Grade II\*

Date of Listing: 17th September 1952

Period: Medieval

**Summary:** L-shaped timber-framed building. The north-west wing is probably C15. It has plaster infilling colour-washed. The ground floor is close-studded. The first floor oversails on both fronts on the protruding ends of the floor joists and brackets. Dragon beam with moulded post. Hipped tiled roof. Casement windows with small square leaded panes. Two storeys and attics. Three windows and 2 hipped dormers facing north-west, one window and one hipped dormer facing north-east. The south-east wing was added by Matthew Hartnup in 1671. This has red brick infilling and one bay window of 5 lights on the ground and first floors, with a gable oversailing on a bessummer, carved with the figures of 2 hippopotami and between these the words, "Matthew Hartnup" and containing an attic window with the date 1671 over it. The south-east window bay of this wing has been refaced in red brick and grey headers. Two windows. Doorcase with single petalled roses of York and Lancaster. The courtyard to Hartnup House is paved with Bethersden marble.



Figure 2: Location map of Hartnup House (yellow star)

### 10.1.3 Three Oasthouses and Granary to south west of Gilletts Farmhouse, Water Lane

Heritage Environment Record Number: TQ 84 SE 199

List Entry Number: 1071330

National Grid Reference: TQ 874922 42382

Type of Record: Grade II

Date of Listing: 1st November 1972

Period: Post Medieval

**Summary:** C19. Three cylindrical red brick oasthouses, one large and 2 smaller, with tiled roofs, cowls and fantails. Granary between. Ground floor red brick, weatherboarded above. Tiled roof.



Figure 3: Location map of Three Oasthouses and Granary (yellow star)



Figure 4: Site location map, scale 1:640,000 and 1:10,000.



Figure 5: Proposed Development Area,



Figure 6: Andrew, Dury and Herbert Map from 1769



Figure 7: Hasted, 1798



Figure 8: Ordnance Surveyors Drawing, 1797

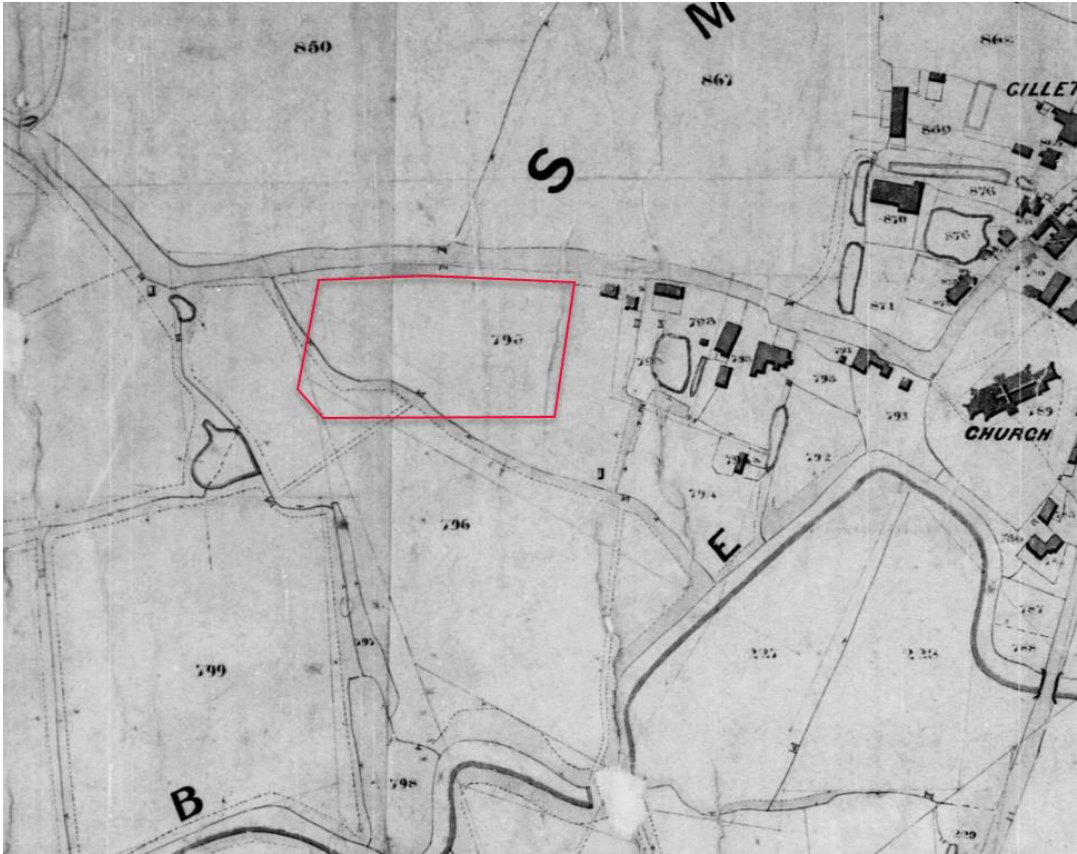


Figure 9: 1841 Tithe Map

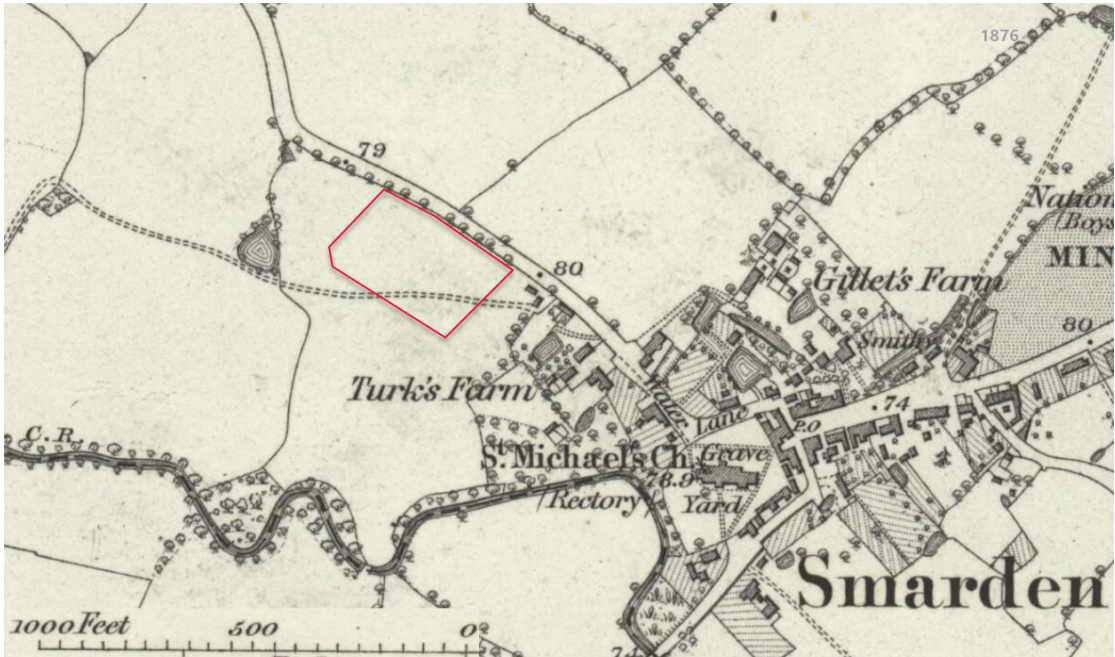


Figure 10: Historic OS Map 1876



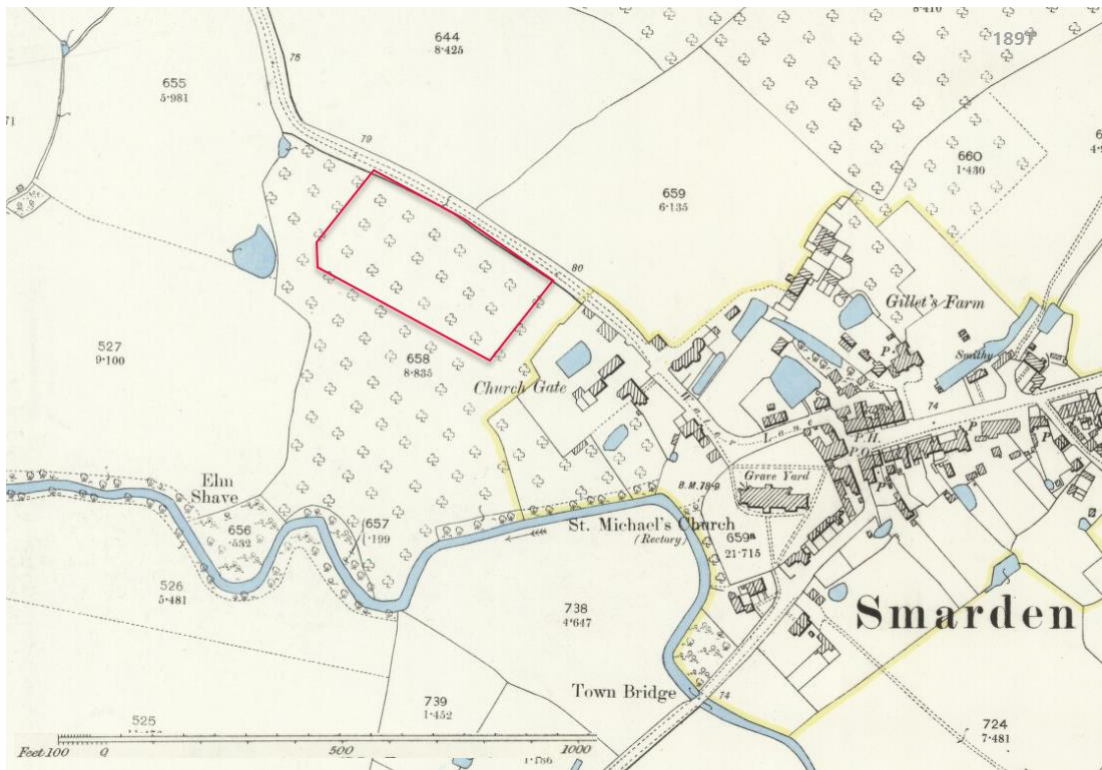


Figure 11: Historic OS Map from 1897



Figure 12: Historic OS Map 1908

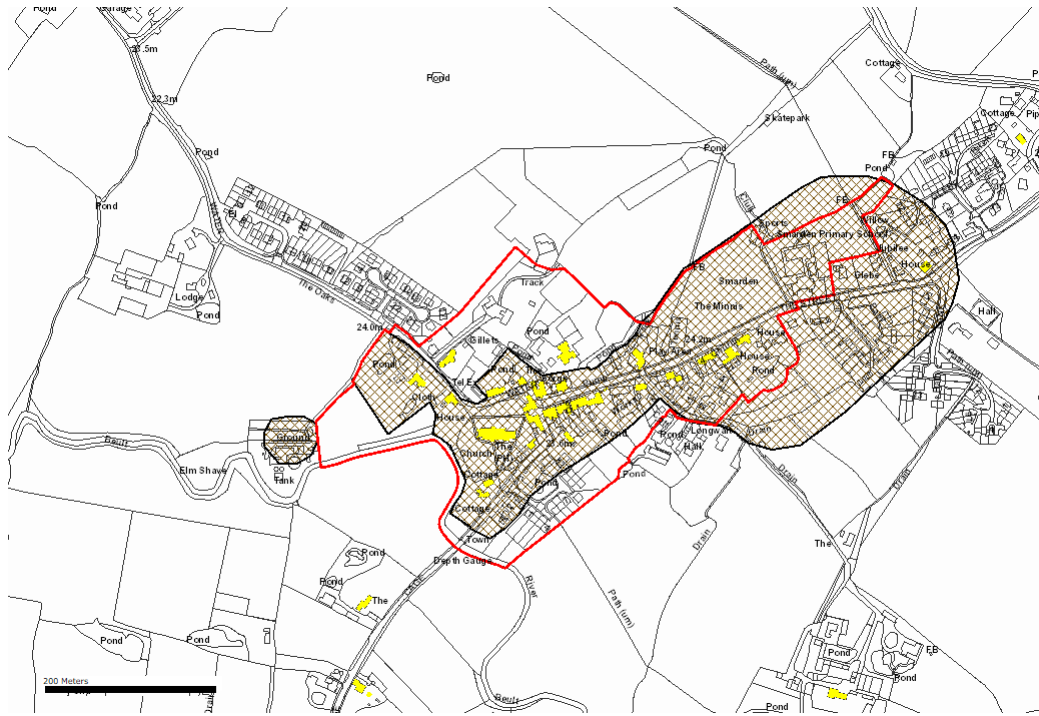
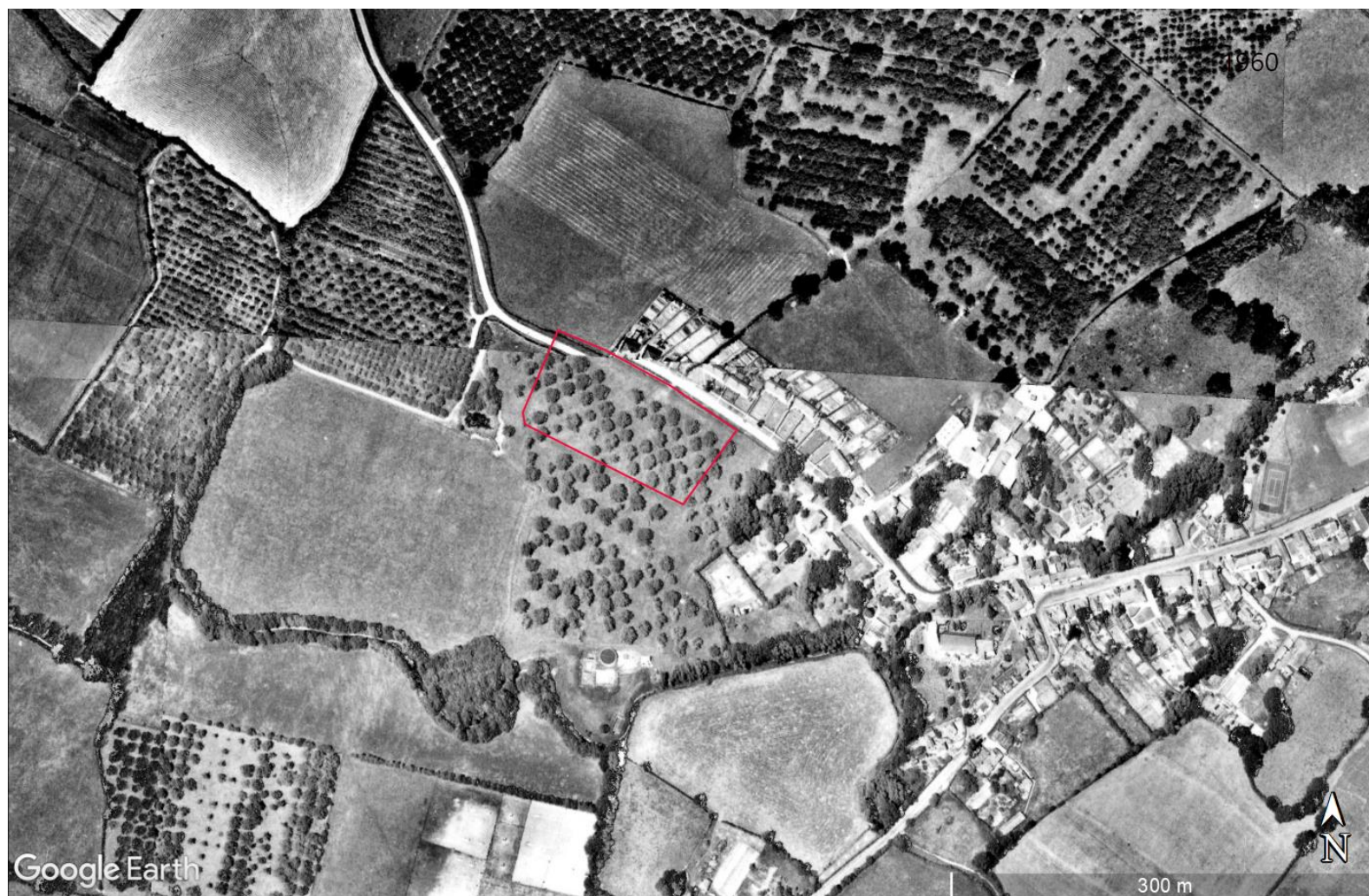


Figure 13: Ashford Borough Council: Areas of Archaeological potential, (cross-hatched), Conservation area (red), listed houses (yellow).



*Plate 1: 1940s. All at an altitude of 948m (Google Earth).*



*Plate 2: 1960 (Google Earth)*



Plate 3: 1990 (Google Earth)



Plate 4: 2003 (Google Earth)



*Plate 5: 2013 (Google Earth)*



Plate 6: 2018 (Google Earth)





*Plate 7: View along Water Lane Smarden towards the village (facing SE).*



*Plate 8: Closer view along Water Lane Smarden towards the village (facing SE).*



*Plate 9: View of across the PDA from Water Lane (facing SW).*



*Plate 10: View of western boundary of The Cloth Hall (facing S).*



*Plate 11: View from the Oast Houses along the lane (facing W)*